

## Article 5. Parking, Loading and Access

### Sec. 14-5-1 Applicability

**(a) New Development**

The requirements of this article apply to all new buildings constructed and all new uses established in all zoning districts.

**(b) Expansion of Nonresidential Development**

The requirements of this article apply to all expansion of existing buildings or uses in all zoning districts. When additional parking and loading spaces are required for expansions of a building or use, the additional spaces are required for the expanded area only; parking requirements are not required to be recalculated for the entire building or use.

**(c) Expansion of Residential Development**

The requirements of this article apply whenever additional dwelling units are added to an existing building or use.

**(d) Change of Use**

The requirements of this article apply to a change in use of an existing building or lot when the number of parking or loading spaces for the new use exceeds the number required for the existing use.

**(e) Public Parking Areas**

All public, city-owned parking areas must comply with the requirements of this chapter.

**(f) North and South Downtown Business Districts Exemption**

- (1)** The north business district includes lots abutting Main Street from the railroad tracks to the north and Warren Street to the south. The south business district includes lots abutting Main Street from Central Street to the north and the southern portion of courthouse square to the south.
- (2)** A payment to the off-street parking fund in an amount determined by the city council may be made in lieu of providing parking spaces in the north and south business districts, subject to the approval of the plan commission and the city council.
- (3)** Payment must be made for any new parking spaces required for new or expanded development, plus the number of existing parking spaces lost to any building expansion.

### Sec. 14-5-2 Off-Street Parking Requirements

**(a) Spaces Required**

Off-street parking spaces are required as specified in the table below.

Use	Spaces Required
<b>Residential Uses</b>	
Single-family dwellings (attached and detached), two-family dwellings and manufactured homes	2 per dwelling unit
Multi-family dwellings and other household living uses	1.5 per dwelling unit
Group living	1 per 3 beds or residents + 1 per 3 employees

<b>Use</b>	<b>Spaces Required</b>
<b>Public and Civic Uses</b>	
College or university	1 per 6 students
Cultural exhibits and libraries	1 per 400 square feet
Day care center	1 per employee + 1 per 10 children capacity
Day care home	1 per employee + 2 spaces for drop-off/pick-up
Hospitals	1 per 3 beds + 1 per 3 employees
Place of public assembly, religious assembly, parks and recreation, social club or lodge	1 per 5 seats or 1 per 5 persons capacity
<b>School</b>	
Secondary	1 per 5 students + 10 stacking spaces for drop-off/pick-up
Elementary	2 per classroom + 1 per 4 seats in auditorium + 10 stacking spaces for drop-off/pick-up
Other public and civic uses	1 per 5 persons capacity
<b>Commercial Uses</b>	
Banks and financial services	1 per 300 square feet
Car wash	1 per 2 employees + 1 vehicle stacking space per 100 square feet
Entertainment and spectator sports; sports and recreation, participant	1 per 5 persons capacity
Funeral home	1 per 100 square feet
Lodging	1 per guest room + 1 per 100 square feet of retail sales or dining area
Medical or dental clinic	1 per 300 square feet
Mini warehouse	1 per 3 units
Motor vehicle repair	1 per employee + 2 per service stall
Motor vehicle sales, light/heavy equipment sales/rental	1 per 600 square feet
Offices	1 per 500 square feet
Retail sales	1 per 300 square feet
Restaurants and taverns	1 per 200 square feet
Other commercial uses	1 per 300 square feet
<b>Industrial Uses</b>	
Wholesale sales	1 per 600 square feet
Manufacturing, production and industrial service; research laboratories; warehouses; other industrial uses	1 per 3 employees or 1 per 900 square feet, whichever is greater
<b>Agricultural Uses</b>	
Farming	None required

**(b) Rules for Computing Requirements**

**(1) Multiple Uses**

Lots containing more than one use must provide parking equal to the total number of spaces required for all uses unless a shared parking plan is approved according to Sec. 14-5-4.

**(2) Fractions**

When the calculation of required parking spaces results in a fraction, any fraction of ½ or more must be rounded to the next whole number and any fraction less than ½ must be rounded down to the preceding whole number.

**(3) Area Measurements**

All square-footage-based parking requirements are based on gross floor area.

**(4) Occupancy- or Capacity-based Standards**

All occupancy- or capacity-based parking requirements are based on the largest number of individuals working on a single shift, the maximum enrollment, or the maximum occupancy based on the building code, whichever is applicable and whichever results in the greater number of spaces. For uses with benches or similar seating, one seat consists of 22 linear inches of bench length.

**(5) Uses Not Listed**

In the case of structures or uses not mentioned in this section the zoning administrator must determine which standard is most appropriate. The zoning administrator may require the applicant to submit a parking study or other evidence to help determine the most appropriate parking standard for the proposed use.

**(c) Parking Area Location and Access**

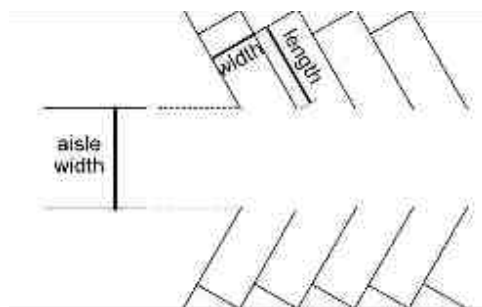
- (1) All required off-street parking must be located on the same lot as the principal use, or within 600 feet walking distance of the principal use.
- (2) No parking spaces for business or manufacturing uses may be located in a residential zoning district except parking spaces required for nonresidential uses allowed in the district.
- (3) No parking space or driveway may be closer than 3 feet to any property line.
- (4) In RE, R1A and R1 districts, all parking spaces for nonresidential uses must be located behind the front building line.
- (5) In R3 districts, at least one of the required parking spaces for each dwelling unit must be enclosed in a garage that is set back at least 5 feet from all property lines.

**(d) Parking Design and Construction Standards**

**(1) Dimensions**

Off-street parking areas must comply with the following standards:

Dimensions (in feet)	Parking Angle			
	0° (parallel)	45°	60°	90°
Minimum space width	9	8.5	8.5	9
Minimum space length	22	19	19	19
Minimum one-way aisle width	18	16	16	18
Minimum two-way aisle width	20	22	22	22



**(2) Surfacing**

- a. All off-street parking areas must be graded, paved, and properly drained. All parking areas except those for single-family dwellings must have the aisles and spaces clearly marked.
- b. When adjacent to a gravel alley, parking spaces for single-family dwellings must be graded, properly drained, and may be either paved or surfaced with gravel.

**(3) Parking Space Access**

Each off-street parking space must open directly onto an aisle that complies with the aisle width standards in Sec. 14-5-2(d)(1), above.

**(4) Landscaping and Lighting**

All off-street parking areas except those for single-family and two-family dwellings must comply with the parking lot landscaping and lighting requirements of Article 6.

**(5) Wheel Stops**

Any parking space located within 5 feet of a property line must have a masonry or steel wheel stop located at least 5 feet from the property line. This requirement does not apply to single-family or two-family dwellings.

**(6) Driveways and Street Access**

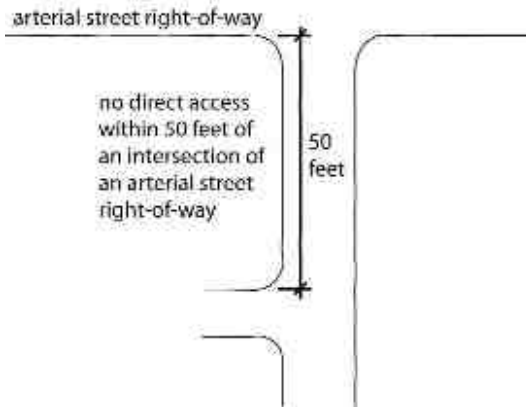
- a. All off-street parking areas must be designed with vehicular access to a street or alley in a manner that will least interfere with traffic movements.
- b. All driveways installed, altered, replaced, or extended after the effective date specified in Sec. 14-1-2 must comply with the following requirements:

Use Type	Max. Driveway Opening (feet)	Min. Driveway Width (feet)	
		one-way	two-way
<b>Residential districts</b>			
Single-family and two-family	24	10	10
Multi-family	24	12	20
<b>Nonresidential uses in residential districts and business districts</b>			
Serving 20 or fewer parking spaces	24	12	20
Serving more than 20 parking spaces	36	12	24
<b>Manufacturing districts</b>	50	12	24

- c. The location, arrangement, and width of all driveways for multi-family residential and all nonresidential uses must be approved by the chief of the fire department. Driveway widths greater than the minimums may be required for emergency vehicle access.

**(7) Access to Highways and Major Streets**

- a. No direct access to the existing or proposed rights-of-way of expressways or controlled-access arterial streets is permitted, unless permission is granted by the highway agency that has jurisdiction and the city council.
- b. Direct access may not be taken within 50 feet of an intersection of an arterial street right-of-way.



- c. Barriers such as curbing, fencing, ditches, landscaping, or other topographic barriers must be constructed to prevent vehicular access to the streets or highways specified in this section.
- d. Temporary access to the rights-of-way specified in this section may be granted if recommended by the highway agencies having jurisdiction and approved by the city council. The temporary access permit must be temporary, revocable, subject to any conditions imposed by the city council, and may be issued for a maximum time period of 12 months.

### Sec. 14-5-3 Accessible Parking (for People with Disabilities)

#### (a) Applicability

- (1) The accessible parking standards of this section apply to all new parking lots and to changes, improvements and maintenance of existing parking lots, including but not limited to sealcoating, resurfacing, remarking, fencing, curbs, walks and landscaping.
- (2) The requirements of this section apply to all nonresidential uses, multi-family dwellings containing 10 or more units, or any other building, structure or site that is owned, leased, or financed by a governmental unit.
- (3) In the event that this section and the Illinois Accessibility Code conflict, the stricter regulations apply.

#### (b) Spaces Required

##### (1) Residential Uses

When accessible parking spaces are required, they must be provided in the number specified in the table below.

Off-street Parking Spaces Provided	Accessible Spaces Required
1 to 50	1
51 to 100	2
101 to 150	3
151 to 200	4
201 to 250	5
251 to 300	6
More than 300	2% of total parking spaces provided

**(2) Nonresidential Uses**

Accessible parking spaces are required for nonresidential uses as specified in the table below unless otherwise expressly stated.

Off-street Parking Spaces Provided	Accessible Spaces Required
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2% of total
More than 1,000	20+1 per 100 over 1,000

**(3) Medical Facilities**

**a. Outpatient Facilities**

A minimum of ten percent of the total number of parking spaces provided for outpatient medical facilities must be designated as accessible spaces.

**b. Rehabilitation and Physical Therapy Facilities**

A minimum of twenty percent of the total number of parking spaces provided for medical facilities specializing in rehabilitation or physical therapy must be designated as accessible spaces.

**(c) Layout and Design**

**(1) Location**

Accessible parking spaces must be located on the shortest accessible route of travel between the parking area and an accessible building entrance. When more than one accessible entrance is served, accessible spaces must be dispersed and located on the shortest accessible route to each entrance. When parking facilities do not serve a particular building or use, the spaces should be located on the shortest accessible route between the parking area and an accessible pedestrian walkway.

**(2) Minimum Space Size**

Car and van parking spaces must be at least 11 feet wide.

**(3) Access Areas**

Access areas must be included to provide space adjacent to vehicles for passenger loading and unloading. Access areas must:

- a. be at least 5 feet wide;
- b. be located on the passenger side of the parking space, based on the vehicle moving forward into the space, when serving diagonal parking spaces;
- c. extend the full length of the parking space; and
- d. be marked to indicate that parking in the access area is prohibited.



**(4) Slope**

Parking spaces and access aisles may not have a slope greater than 1:48. Access aisles must be at the same level as the parking space.

**(5) Vertical Clearance**

Accessible parking spaces must have a vertical clearance of at least 8 feet 2 inches.

**(6) Signs and Identification**

All accessible parking spaces required by this article must be identified by signs complying with U.S. Department of Transportation R7-8 standards, including the international symbol of accessibility and the amount of the fine imposed for illegally parking in an accessible space. The sign must be vertically mounted on a post or wall no more than 5 feet from the space and centered on the width of the space.

**Sec. 14-5-4 Shared Parking**

The zoning administrator may approve shared parking facilities for developments or uses with different operating hours or peak business periods, subject to the following requirements.

**(a) Location**

The edge of the shared parking area must be within 600 feet walking distance of the primary entrance of each use served.

**(b) Parking Study**

Applicants wishing to use shared parking as a way to satisfy the parking requirements of this article must submit a parking study to the zoning administrator. The parking study must demonstrate the feasibility of the shared parking arrangement; and include the size and use of the proposed development, the anticipated parking demand for each use in the development, and the peak periods of parking demand for each use.

**(c) Shared Parking Covenant**

A shared parking plan must be enforced by an irrevocable written covenant among all owners of record. A copy of the covenant must be submitted to the zoning administrator and recorded in county recorder's office before any building permits are issued for any use to be served by the shared parking area. A shared parking covenant may only be revoked if all off-street parking required by this article is provided.

## Sec. 14-5-5 Off-street Loading Requirements

### (a) No Use of Public Right-of-Way

At no time may goods be loaded or unloaded from the right-of-way of a collector or arterial street. No part of any vehicle may extend into the right-of-way of a collector or arterial street while being loaded or unloaded.

### (b) Loading Area Design and Construction Standards

#### (1) Location

- a. Plans for location, design and layout of all loading spaces must be indicated on required site plans.
- b. No loading spaces may be located in a required setback adjacent to a residential district.
- c. Loading spaces must be designed with appropriate access to a street or alley in a manner that will least interfere with traffic.

#### (2) Surfacing

All off-street loading areas must be graded, paved, and properly drained.

#### (3) Screening

Loading spaces must be completely screened from view of residential zoning districts by the existing building, a fence, or an evergreen planting screen.